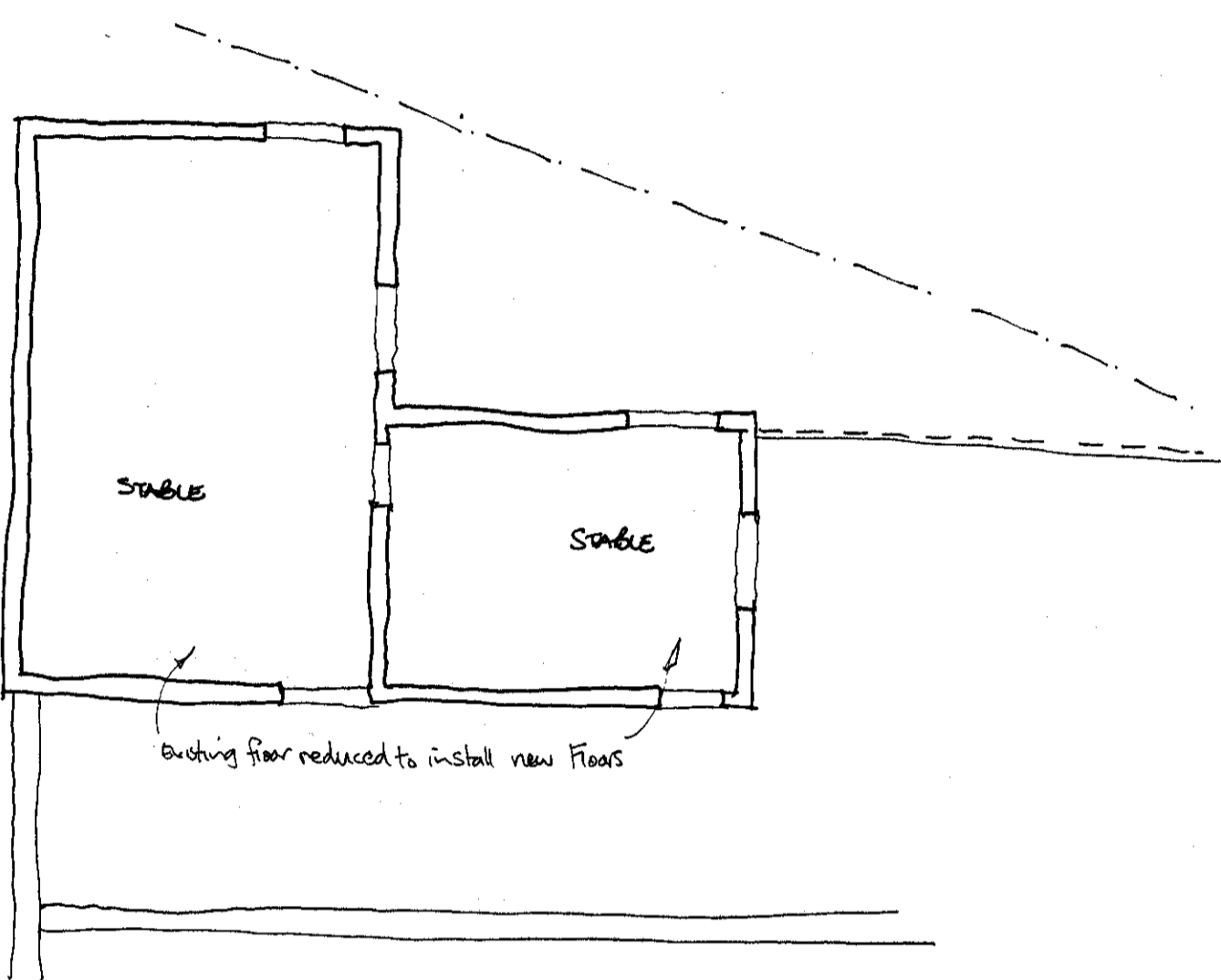



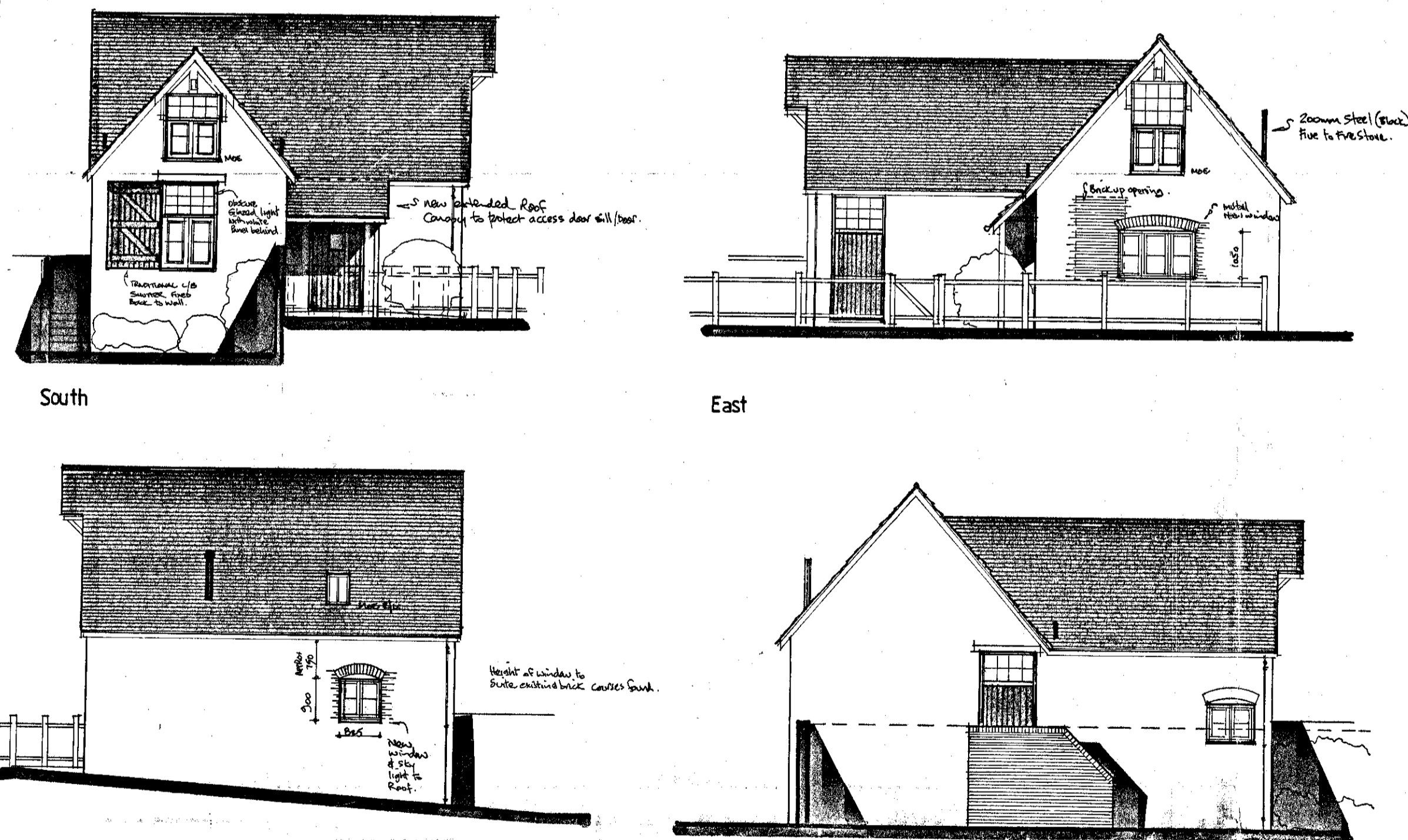
Existing Elevations



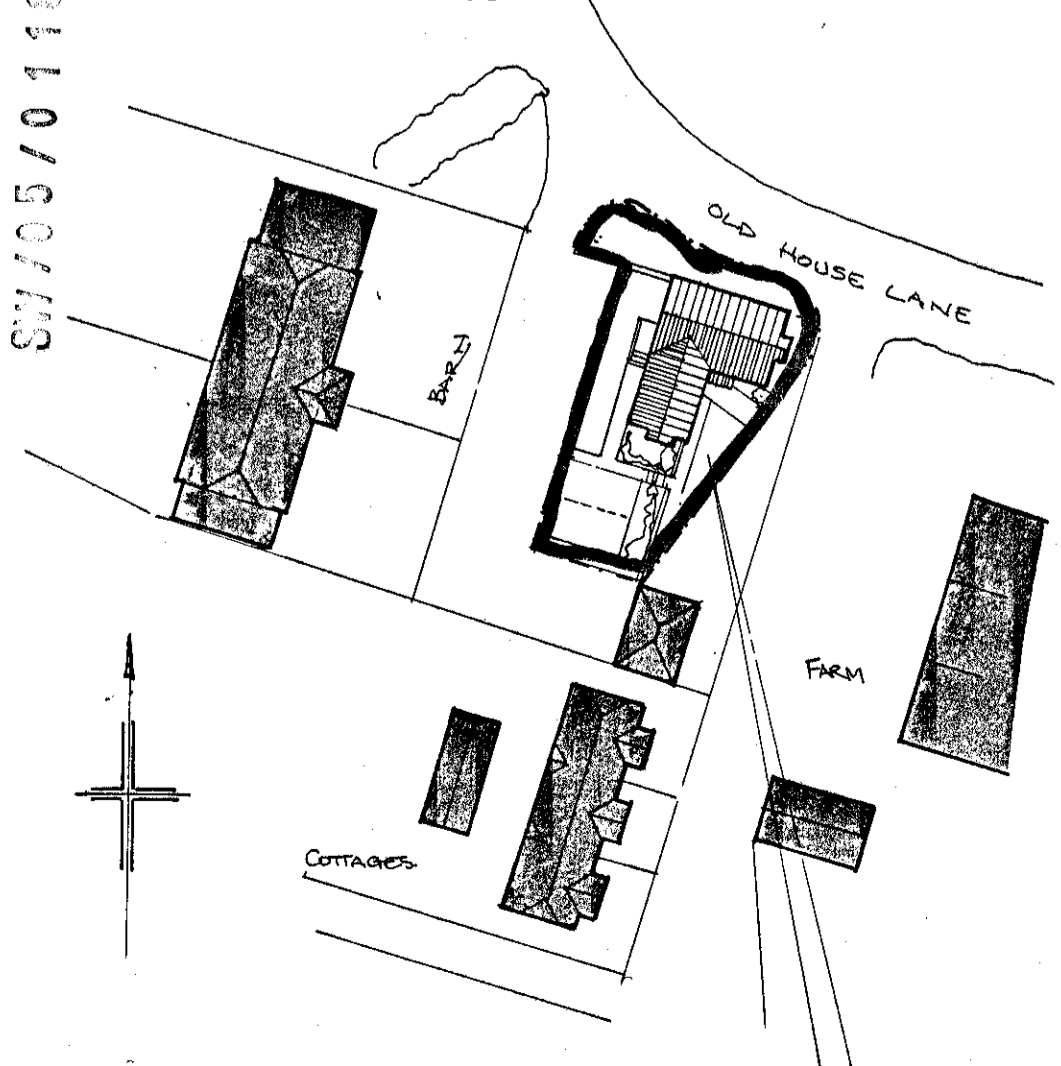
Existing Plan

Notes:
All dimensions, levels and existing construction, including drainage and their inverts to be checked or ascertained before ordering of materials and commencement of relevant areas of work.

amendments	
Project: STABLE BUILDING	
Site: OLD HOUSE FARM OLD HOUSE LANE HARTUP NR SITTINGBOURNE	
Client: M. J. WILSON	
contractor: © copyright R. A. CLAYTON.	
ROBERT A CLAYTON. Building Plans.  32, WATLING STREET, GILLINGHAM, KENT, ME7 2YH. Medway 578340.	
scale: 1:100	revision: 000
date: Jan 2004	drawing no: 04-12-01/E



Elevations



Location Plan

Notes:
All dimensions, levels and existing construction, including drainage and their inverts to be checked or ascertained before ordering of materials and commencement of relevant areas of work.

General:
Contractor to work from dimensions shown on plans after taking on site measurements, and where discrepancies are found, to be verified with Clients/LA before starting works. Details specified showing unintentional errors are not to be taken advantage of, and implied construction to be installed to good building practices. Contractor to visit site to check dimensions and existing construction incl. drainage prior to issue of final quotation for the works.

Dimensions not to be scaled from plans in any circumstances but to be agreed with Client/LA on site as work proceeds. These items will include all levels to the building works and site together with drainage levels existing and proposed. Details have been taken from previously prepared plans submitted as client instructions, with further descriptions given by client during preparation of details. Measurements are indicated as structural opening sizes and described subject to existing brick courses.

Contractor to carry out works in strict accordance with current Health & Safety at work Acts and CDM Regulations. It will be the duty of the Contractor to submit Plans/Data and method statement incl. risks assessments to appointed Planning Supervisor where applicable for their work. These requirements are to extend to good working practices by approved qualified operatives, and include any temporary support to existing structures whilst works are being installed. Prior to commencement of the works including demolition, Contractor to submit to the client agreed programme for the work, which should also include protection measures to existing buildings, and schedule of valuation/payment scheme and appropriate insurance certificates.

All fixtures, fittings, and finishes to be fully agreed with Clients and approved by LA prior to starting works. Where these are subject to conditions under Council approvals it will be the sole responsibility of the Contractor to submit samples and details to enable written discharge of conditions before starting works or ordering materials. Contractor is reminded that all materials and construction described within plans and accompanying details are to be installed in strict accordance with Current British & European Standards /Codes of practices, and relevant BBA Certificates for all materials.

Drawings and accompanying details have been solely prepared for Council submissions under the Building and Planning Acts Only. Where discrepancies are found they are to be reported by Contractor/Client to the relevant authority before proceeding with works to agree modifications. Plans to be read in conjunction with accompanying Drawings 04.12.01/2/3 & (E) and Calculations together with previously agreed conditions attached to Planning approvals. Contractor to check before starting works with LA and others, that all approvals have been issued for the described work and outstanding conditions discharged, and they are in procession of current revision of details.

Prepared details do not include any specialist items of construction or the testing for environmental issues in regard to general pollution or contamination matters of the site and within buildings found. I confirm the plans and designs incl. accompany calculations if applicable are the sole ownership of Robert A Clayton, and should not be modified traced or copied by any means what so ever, unless expressly authorised in writing after full payment of any outstanding fees.

Planning Officer Conditions:
The applicant confirms the flint wall previously conditioned/approved will still be installed as agreed on the last consent ref. SW/03/1112, as the Owl and bat surveys submitted under condition 16 a and b is still applicable.

Specification to clay roof tile finishes duplicates previously approved/discharge condition.


Please find included full details of Roof light details, and hard/soft landscaping proposal for development including detailed planting on ground floor plan.

Proposed joinery, either stained light oak as per adjacent barn conversions or painted cream/black subject to Planners acceptance. Travis Perkins -Boulton & Paul purpose made timber joinery to fit within proposed openings, sizes supplied by Contractor. Final joinery details including glazing bars and doors to be supplied by manufacturer to discharge condition attached to approval.

Conditional Approvals:

- All Existing construction taking new loads to be fully investigated by contractor prior to commencing work. These works to be included within final quotation for the project, and where necessary covered by preliminary agreed sums. Construction required to be exposed for verification, to be agreed with LA before starting works and left open for their inspection.
- Final SAP Rating to units
- Final Boiler/Heating design and controls to be verified with Building control prior to installation by approved specialist contractor.
- Further details: required by Planner to discharge Condition attached to Planning approval when available.

SWALE BOROUGH COUNCIL	
- 2 FEB 2005	
PLANNING SERVICES	

amendments	
Project: Conversion of Stable to Holiday Home	
Site: Old House Farm Old House Lane Hartup Nr Sittingbourne	
Client: M. J. Wilson	
contractor: © copyright R. A. CLAYTON.	
ROBERT A CLAYTON. Building Plans.  32, WATLING STREET, GILLINGHAM, KENT, ME7 2YH. Medway 578340.	
scale: 1:100, 1:50	revision: 000
date: January 2005	drawing no: 04-12-01/3